

DA: PROPOSED POOL

(APPROVED DA 93/2019)

NO 12 RIVERVIEW ROAD, EARLWOOD

ARCHITECTURAL DRAWING LIST

A 100	COVER SHEET
A 101	RESIDENCE BASIX
A 102	SITE ANALYSIS PLAN
A 103	SITE ROOF PLAN
A 104	APPROVED LEVEL 0 - GARAGE APPROVED LEVEL 1 - ENTERTAINMENT
A 105	APPROVED LEVEL 2 - GROUND FLOOR
A 106	APPROVED LEVEL 3 - FIRST FLOOR APPROVED LEVEL 4 - SECOND FLOOR
A 107	APPROVED EASTERN ELEVATION APPROVED WESTERN ELEVATION
A 108	APPROVED NORTHERN ELEVATION APPROVED SOUTHERN ELEVATION APPROVED SECTION 1
A 109	PROPOSED GARAGE LEVEL PROPOSED LEVEL 1 - ENTERTAINMENT
A 110	EASTERN ELEVATION - PROPOSED WESTERN ELEVATION - PROPOSED
A 111	NORTHERN ELEVATION - PROPOSED SOUTHERN ELEVATION SECTION 1 + POOL SECTION
A 112	SECTION 2 - 5
A 113	EXTERNAL MATERIAL FINISHES WASTE MANAGEMENT PLAN
A 114	FLOOR SPACE AREA CALCULATION SITE COVERAGE + DEEP SOIL PLAN



AERIAL MAP TO TRUE NORTH

GENERAL NOTES

01. BUILDING CODE OF AUSTRALIA
ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, SAA
CODES AND RELEVANT BY-LAWS.
02. DEVELOPMENT APPROVAL
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE
DEVELOPMENT APPROVAL, CONSTRUCTION CERTIFICATE AND ANY
SCHEDULES ATTACHED THERETO. ALL CONDITIONS MUST BE APPLIED TO
THE DEVELOPMENT. WHERE ANY VARIATIONS ARE SOUGHT, IT IS THE
RESPONSIBILITY OF THE DEVELOPER TO CONTACT COUNCIL TO OBTAIN
APPROVAL FOR ANY SUCH VARIATIONS.
03. ENGINEERING DRAWINGS AND OTHER CONSULTANTS
THESE DRAWINGS SHALL BE READ AS A SET AND IN CONJUNCTION WITH
ALL SPECIFICATIONS, ENGINEERING PLANS AND CONSULTANTS PLANS
AS SUPPLIED BY THE DEVELOPER. THESE PLANS AND SPECIFICATIONS
MAY INCLUDE BUT ARE NOT LIMITED TO STRUCTURAL PLANS,
STORMWATER PLANS, LANDSCAPE PLANS, HYDRAULIC PLANS,
ELECTRICAL DRAWINGS, MECHANICAL VENTILATION PLANS, FIRE
SERVICES PLANS ETC. FINAL CO-ORDINATION OF PLANS BY BUILDER.
04. BUILDING MATERIALS AND COLOURS
ALL EXTERNAL BUILDING MATERIALS AND COLOURS SHALL ACCORD
WITH THE SCHEDULE SUBMITTED TO COUNCIL WITH THE CONSTRUCTION
CERTIFICATE.

NOTES

- ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE
- INTERNAL WALLS TIMBER FRAMED WITH GYPROCK LININGS
DIMENSIONS AS SHOWN ON DRAWINGS
- EXTERNAL WALLS AS NOTED ON DRAWINGS OR SPEC
- DOOR UNITS & WINDOWS TO BE SELECTED ALUMINIUM
- ALL CRITICAL HEADROOMS TO BE CHECKED ON SITE. ALL
DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
- ALL DOCUMENTATION MUST BE FOLLOWED AS APPROVED
ARCHITECT TAKES NO RESPONSIBILITY FOR MODIFICATIONS MADE
TO DESIGN NOT COVERED BY APPROVAL + CONDITIONS
- ALL STORMWATER DISPOSAL TO STORMWATER DESIGN
- TIMBER FRAMING TO AS 1684 AND STRUCTURAL ENGINEER'S
DETAIL
- WATERPROOFING AND FLOORWASTES TO ALL WET AREAS AS
REQUIRED BY BCA
- WEEPHOLES, FLASHING AND DAMP PROOF COURSE TO BCA AND
AUSTRALIAN STANDARDS
- ALL ROOF TO WALL JUNCTIONS TO BE ADEQUATELY SEALED,
WATERPROOFED AND FLASHED

DEVELOPMENT APPLICATION

CLIENT Mr Stephen J. Urch		
LANDSCAPE CONSULTANT GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485		
TOWN PLANNER QUE CONSULTING T - 1300 123 783		
STRUCTURAL ENGINEERS NTIMA CONSULTING PTY LTD M - 0434 284 585		
LEGEND:		
A/C	AIR	AIR CONDITIONER
AHD	AUSTRALIAN	AUSTRALIAN HEIGHT DATUM
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WC	WATER	CLOSET (TOILET)

DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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ISSUE	AMMENDMENT	DATE
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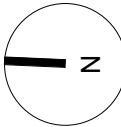
Project:
12 Riverview Road
Earlwood NSW
LOT B. DP 420152

Title Sheet

Project number 5743 A100

Date: 15-09-22
Scale: 1:100 @ A1
Drawn by: KP

Checked by: JD



Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P O BOX 446 GLADESVILLE 2111

MOBILE: 0410 699919
info@caddraftnsw.com.au

BASIX:

WATER COMMITMENTS:

LANDSCAPE:

The applicant must plant indigenous or low water use species of vegetation throughout 166 square metres of the site.

FIXTURES:

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

ALTERNATIVE WATER:

RAINWATER TANK:

The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.
The applicant must connect the rainwater tank to:

- all toilets in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
- a tap that is located within 10 metres of the swimming pool in the development

STORMWATER TANK:

The applicant must install a stormwater tank with a capacity of at least 5000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the stormwater tank to collect overflow from the rainwater tank.
The applicant must configure the stormwater tank to collect runoff from:

- at least 200 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or private dam)
- at least 100 square metres of impervious areas
- at least 100 square metres of garden and lawn

The applicant must connect the stormwater tank to:

- a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (Note: NSWHealth does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)

SWIMMING POOL:

The swimming pool must not have a volume greater than 21 kilolitres.
The swimming pool must have a pool cover.
The swimming pool must be shaded.
The swimming pool must be outdoors.

THERMAL COMFORT COMMITMENTS:

GENERAL FEATURES:

The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys.
The conditioned floor area of the dwelling must not exceed 300 square metres.
The dwelling must not contain open mezzanine area exceeding 25 square metres.
The dwelling must not contain third level habitable attic room.

FLOOR, WALLS AND CEILING / ROOF:

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Construction	Additional insulation required (R-Value)	Other specifications
floor - suspended floor above garage, concrete	nil	
external wall - brick veneer	2.86 (or 3.40 including construction)	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 4.5 (up), roof: foil/sarking	framed; light (solar absorptance < 0.475)

WINDOWS, GLAZED DOORS AND SKYLIGHTS:

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- For the following glass and frame types, the certifier check can be performed by visual inspection.
 - Aluminium single clear
 - Aluminium double (air) clear
 - Timber/uPVC/fibreglass single clear
 - Timber/uPVC/fibreglass double (air) clear
- For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.
- Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).

Skylight no.	Maximum area (m²)	Type		Shading
S01	0.20	aluminium, moulded plastic single clear		no shading
S02	0.20	aluminium, moulded plastic single clear		no shading

Window/glazed door no.	Max height (mm)	Max width(mm)	Type	Shading (Dim within 10%)	Overshadowing
Bedroom 1 & 2	2100	4200	U-value: 3.6, SHGC: 0.486 - 0.594 (aluminium: thermally broken, double (air), clear)	solid overhang 1500 mm, 2300 mm above head of window or glazed door	1-2 m high <1.5 m away
Level 4 East	500	3000	U-value: 3.6, SHGC: 0.486 - 0.594 (aluminium: thermally broken, double (air), clear)	solid overhang 2000 mm, 2300 mm above head of window or glazed door	1-2 m high <1.5 m away
Master Bedroom	2100	4200	U-value: 3.6, SHGC: 0.486 - 0.594 (aluminium: thermally broken, double (air), clear)	solid overhang 2000 mm, 2300 mm above head of window or glazed door	1-2 m high <1.5 m away
Living	2100	4800	U-value: 3.6, SHGC: 0.486 - 0.594 (aluminium: thermally broken, double (air), clear)	solid overhang 2000 mm, 2300 mm above head of window or glazed door	1-2 m high <1.5 m away
Family	2100	4200	U-value: 3.6, SHGC: 0.486 - 0.594 (aluminium: thermally broken, double (air), clear)	solid overhang 2000 mm, 2300 mm above head of window or glazed door	1-2 m high <1.5 m away
Dining	2100	4800	U-value: 3.6, SHGC: 0.486 - 0.594 (aluminium: thermally broken, double (air), clear)	solid overhang 2000 mm, 2300 mm above head of window or glazed door	1-2 m high <1.5 m away

ENERGY COMMITMENTS:

HOT WATER:

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5.5 stars.

NATURAL LIGHTING:

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.

DEVELOPMENT APPLICATION

CLIENT

Mr Stephen J. Urch

LANDSCAPE CONSULTANT

GEOSCAPES LANDSCAPE ARCHITECTS

T - 02 9411 1485

TOWN PLANNER

QUE CONSULTING

T - 1300 123 783

STRUCTURAL ENGINEERS

NTIMA CONSULTING PTY LTD

M - 0434 284 585

LEGEND:

A/C AIR CONDITIONER

AHD AUSTRALIAN HEIGHT DATUM

AW ALUMINIUM WINDOW

BAL BALUSTRADE

DP DOWNPIPE

DPC DAMP PROOF COURSE

(E) EXISTING

EQ EQUAL

FCL FINISHED CEILING LEVEL

FFL FINISHED FLOOR LEVEL

(N) NEW

RL RELATIVE LEVEL

RWH RAIN WATER HEAD

SKL SKYLIGHT

TBC TO BE CONFIRMED

TME TO MATCH EXISTING

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VOS VERIFY ON SITE

AL ALUMINIUM

BK BRICK

GAL GALVANISED

GD GLASS DOOR

MRS METAL ROOF SHEETING

P PAINT

PBD PLASTERBOARD

RC REINFORCED CONCRETE

ST STONE

SST SANDSTONE

T TIMBER

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WC WATER CLOSET (TOILET)

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PROPOSED POOL & PLANT ADDED

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ISSUE	AMMENDMENT	DATE

Project:

12 Riverview Road

Earlwood NSW

LOT B. DP 420152

Residence Basix

Project number

5743

A101

Date:

15-09-22

Scale:

1:100 @ A1

Drawn by:

KP

Checked by:

JD

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD, LILYFIELD, NSW

P O BOX 446 GLADESVILLE 2111

MOBILE: 0410 699919

info@caddraftnsw.com.au

20/09/2022 08:25:34

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Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
QUE CONSULTING T - 1300 123 783	
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NTIMA CONSULTING PTY LTD M - 0434 284 585	

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LOT B. DP 420152

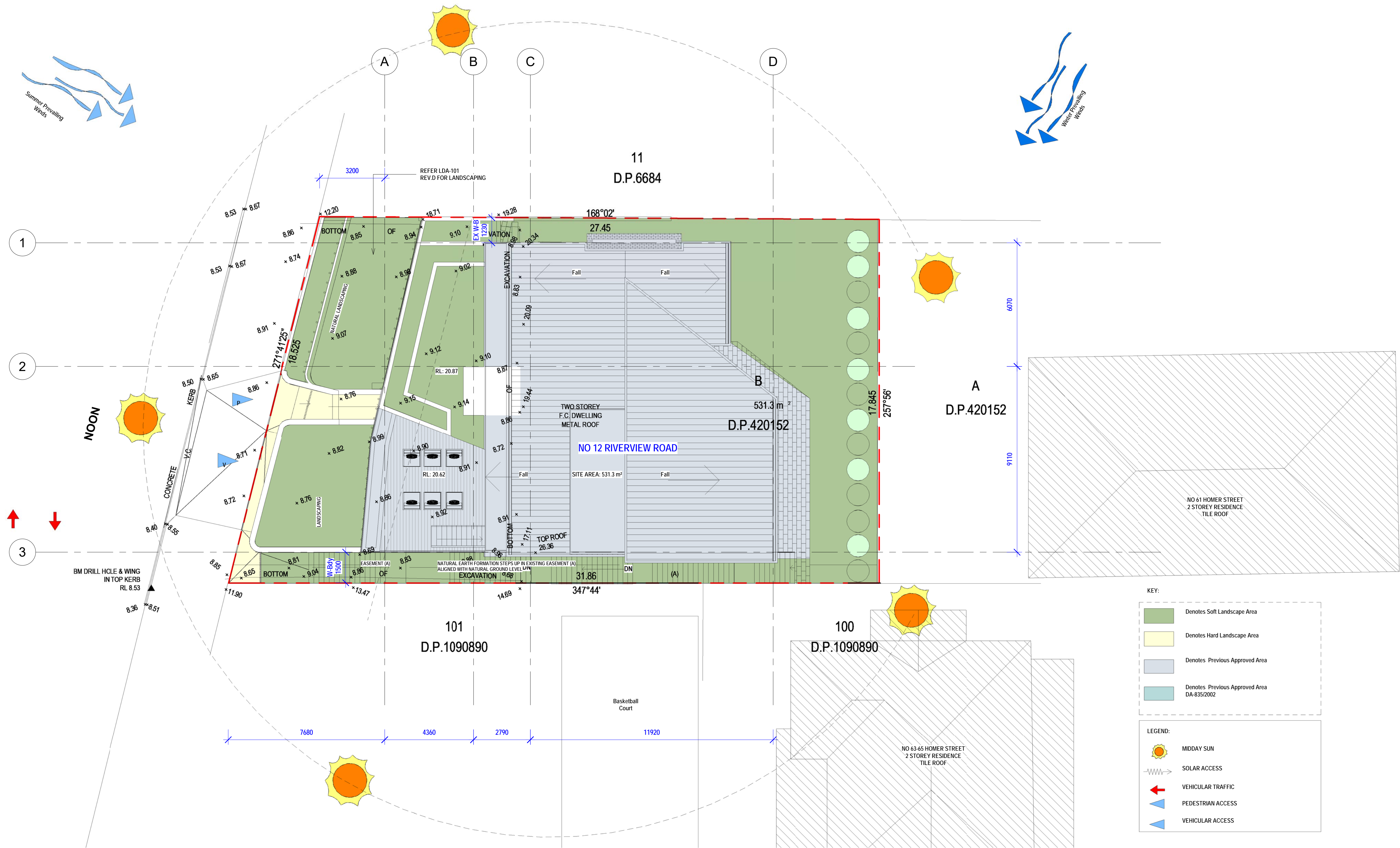
Site Analysis Plan

Project number 5743 A102

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@caddraftnsw.com.au



1 Site Analysis Plan
1 : 100

NO CHANGE

DEVELOPMENT APPLICATION

CLIENT	
Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
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NTIMA CONSULTING PTY LTD M - 0434 284 585	

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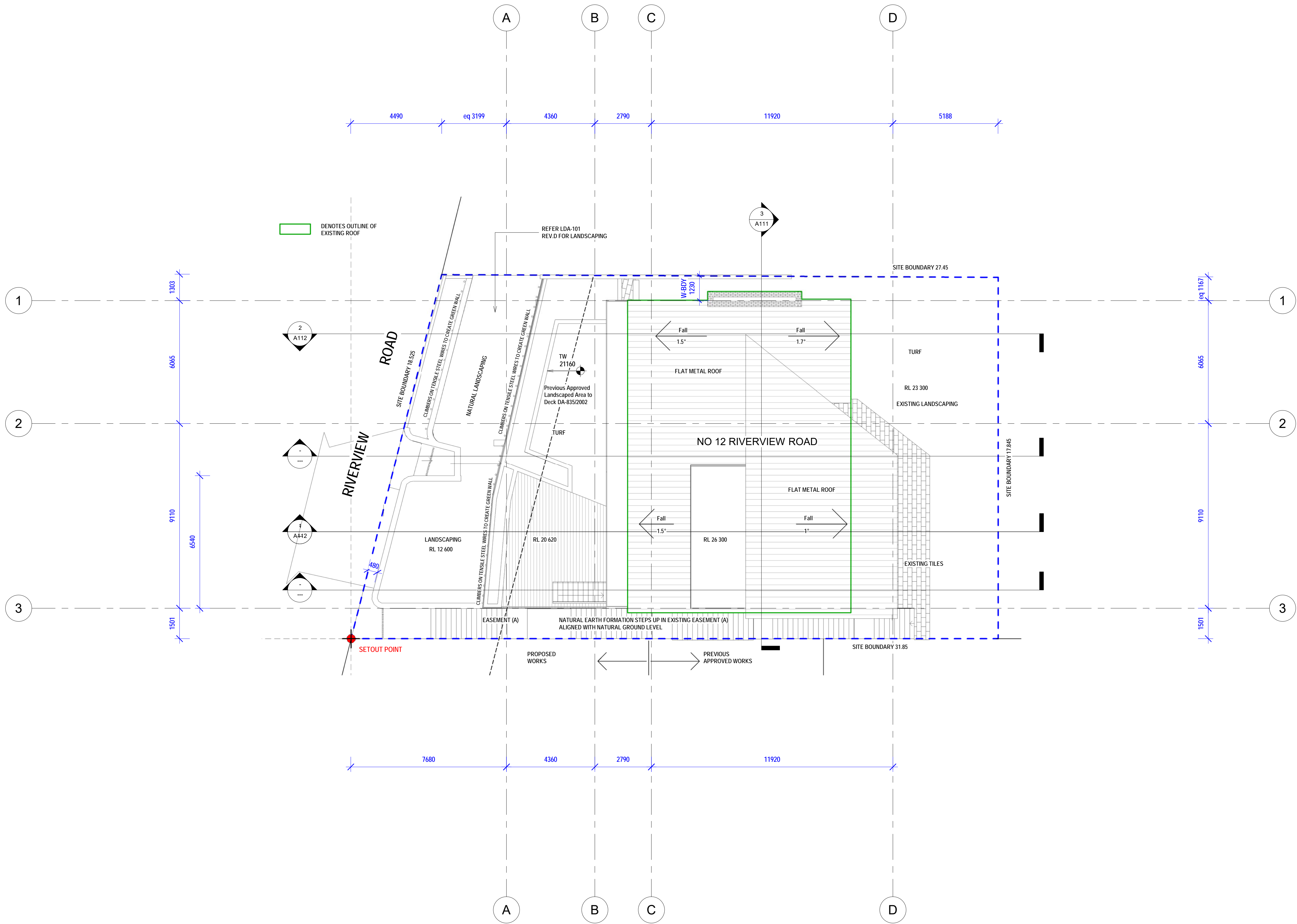
Site Roof Plan

Project number 5743 A103

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@caddraftnsw.com.au



1 Site Roof Plan
1 : 100

NO CHANGE

DEVELOPMENT APPLICATION

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LANDSCAPE CONSULTANT	
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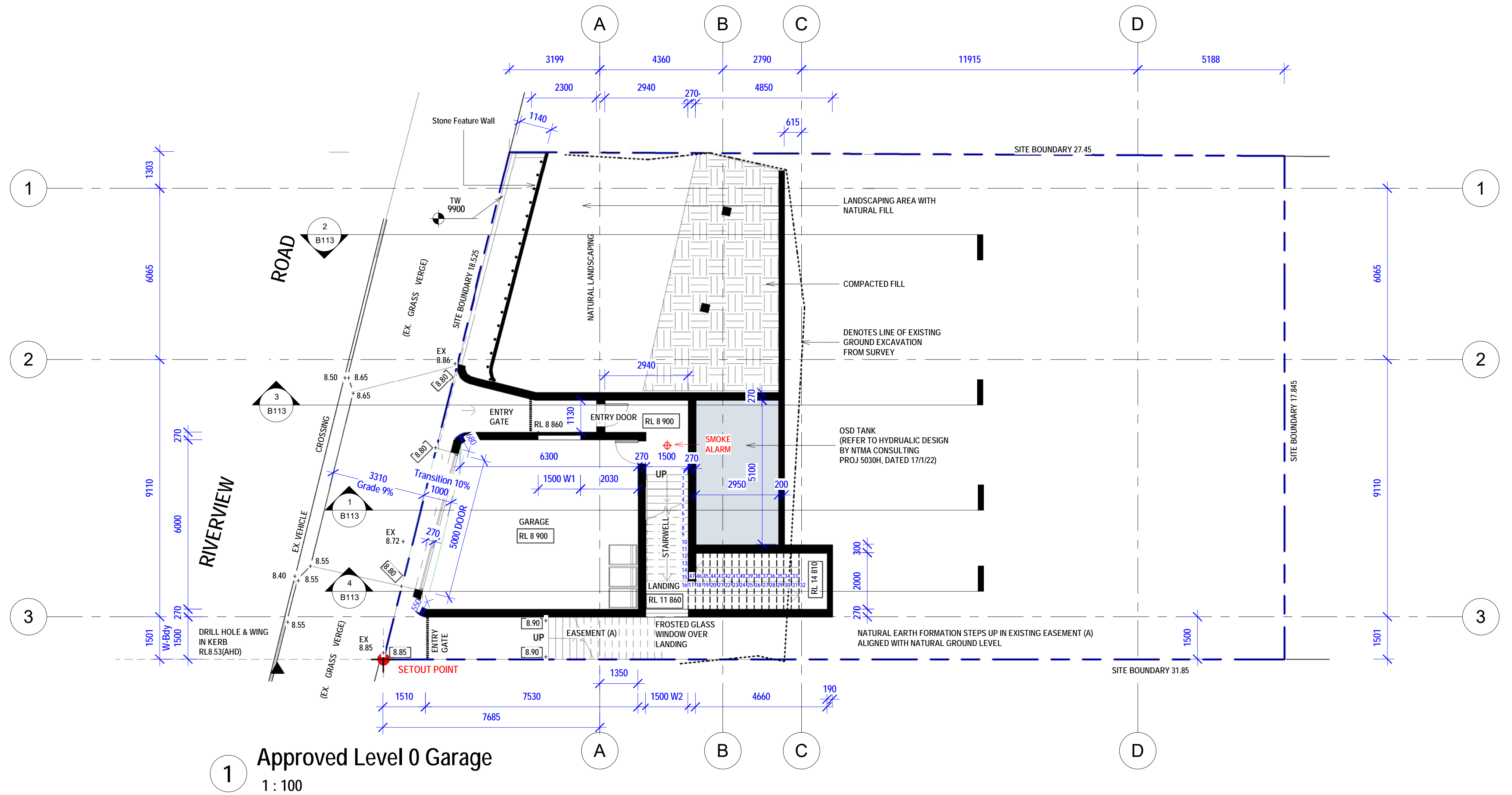
Approved Garage +
Entertainment Levels

Project number 5743 A104

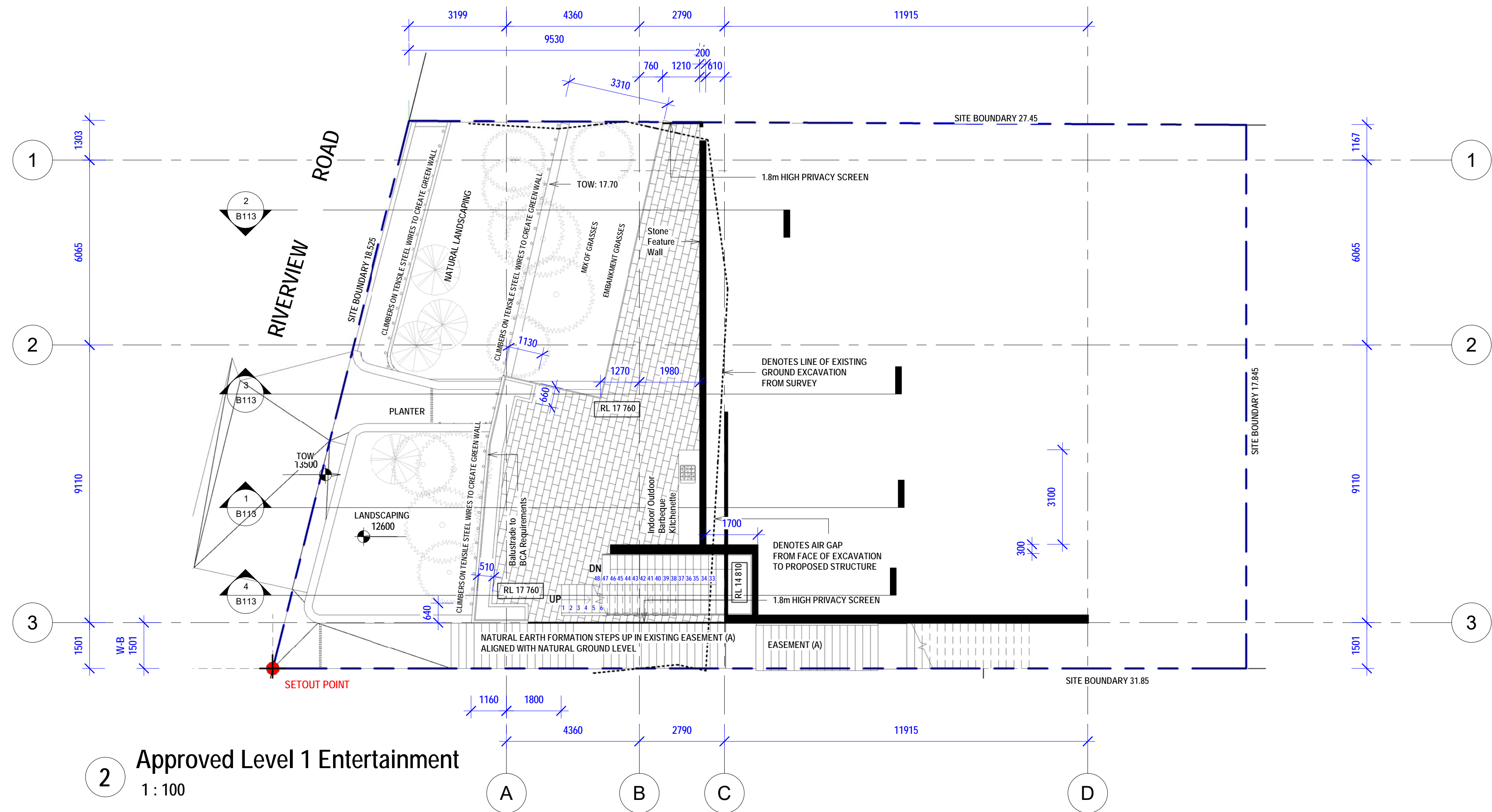
Date: 15-09-22
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Checked by: JD

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LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@caddraftnsw.com.au



1 Approved Level 0 Garage
1 : 100



2 Approved Level 1 Entertainment
1 : 100

DEVELOPMENT APPLICATION

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LANDSCAPE CONSULTANT	
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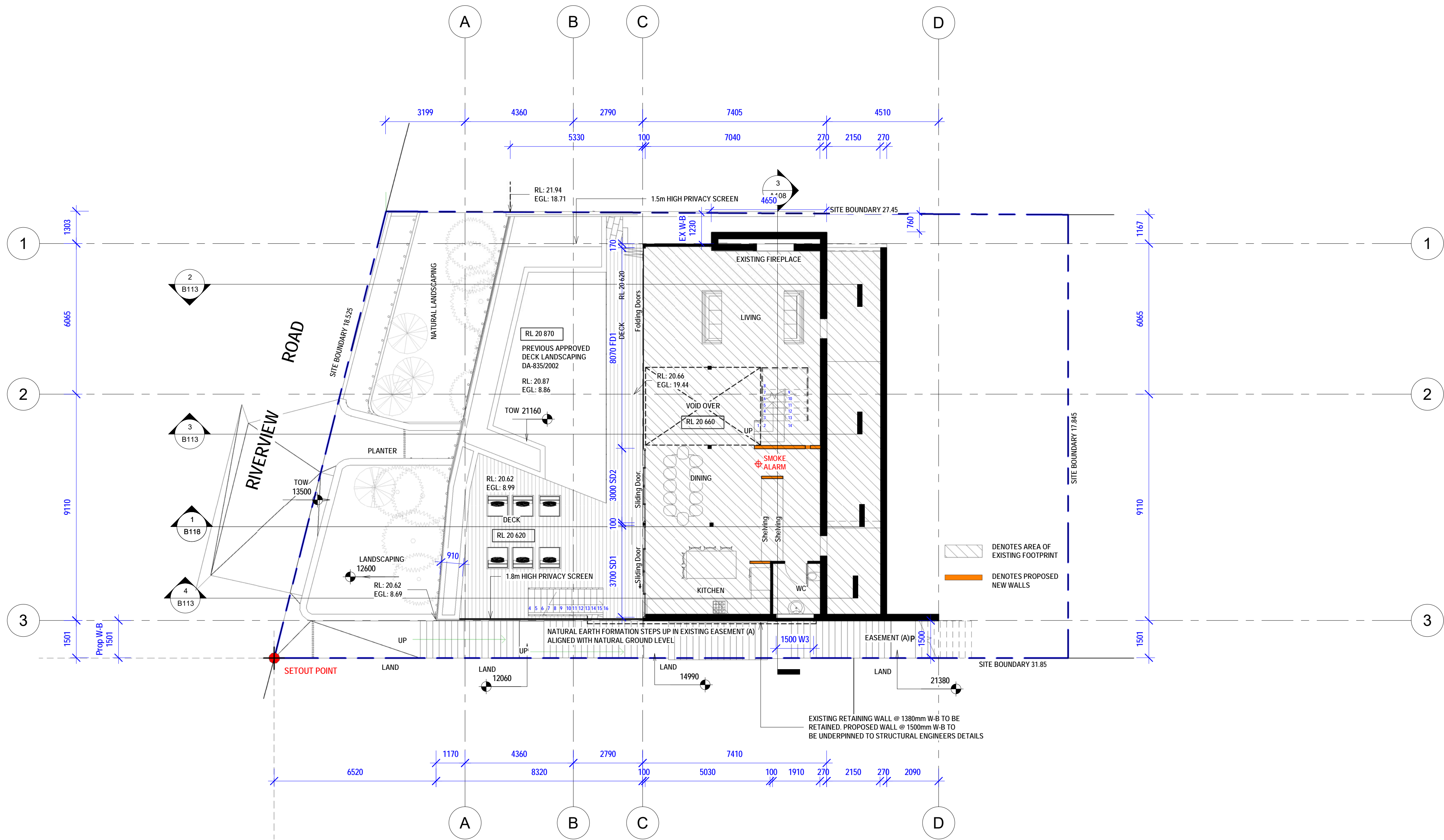
Approved Level 2 - Ground
Floor

Project number 5743 A105

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

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SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@caddraftnsw.com.au



1 Approved Level 2 Ground Floor
1 : 100

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LANDSCAPE CONSULTANT	
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TL	TILE
TL/SL	TILE SLATE ROOF
W	WINDOW
WB	WEATHERBOARD
WC	WATER CLOSET (TOILET)

DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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ISSUE	AMMENDMENT	DATE
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Project:
12 Riverview Road
Earlwood NSW
LOT B. DP 420152

Approved First Floor + Second Floor

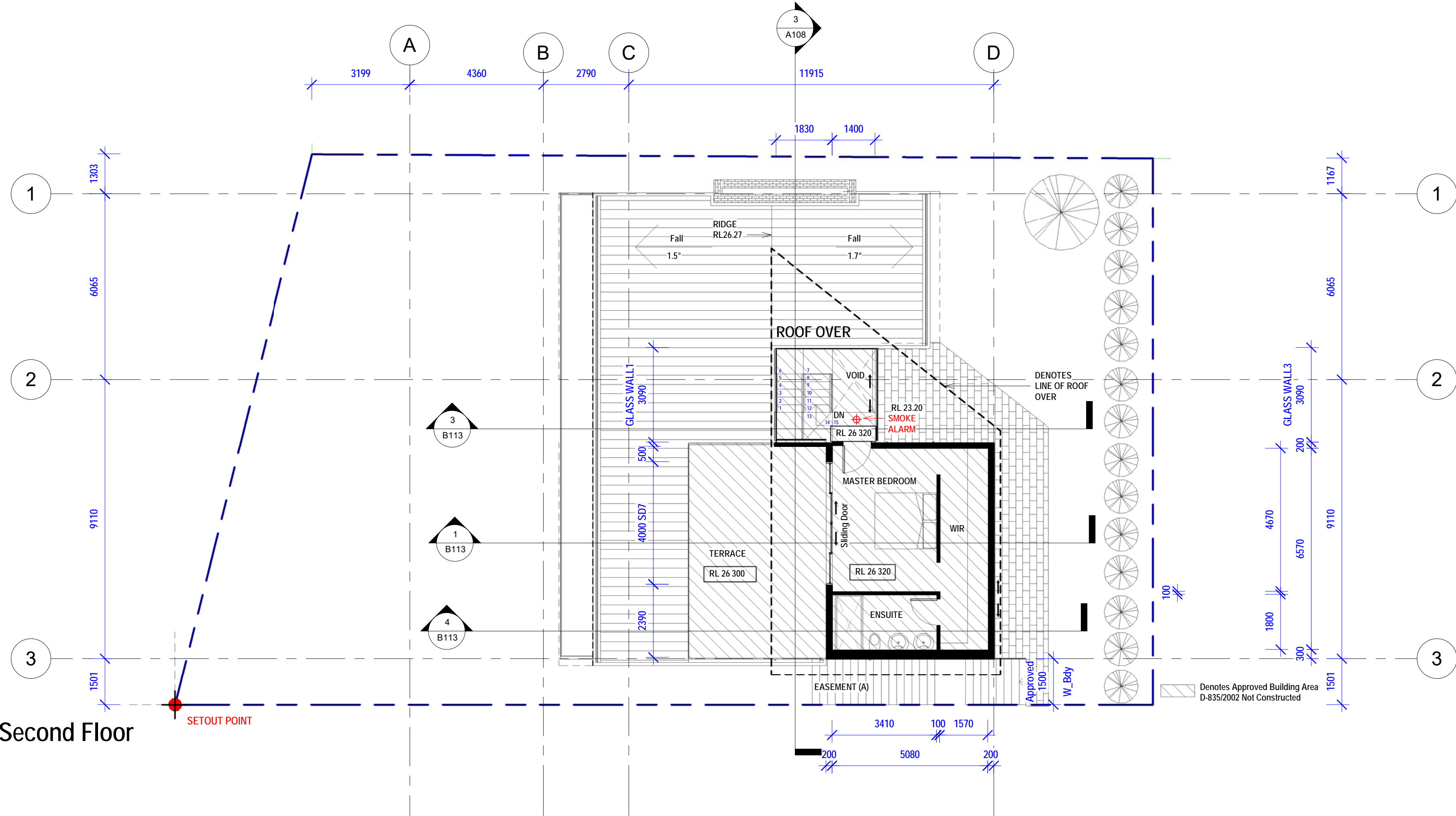
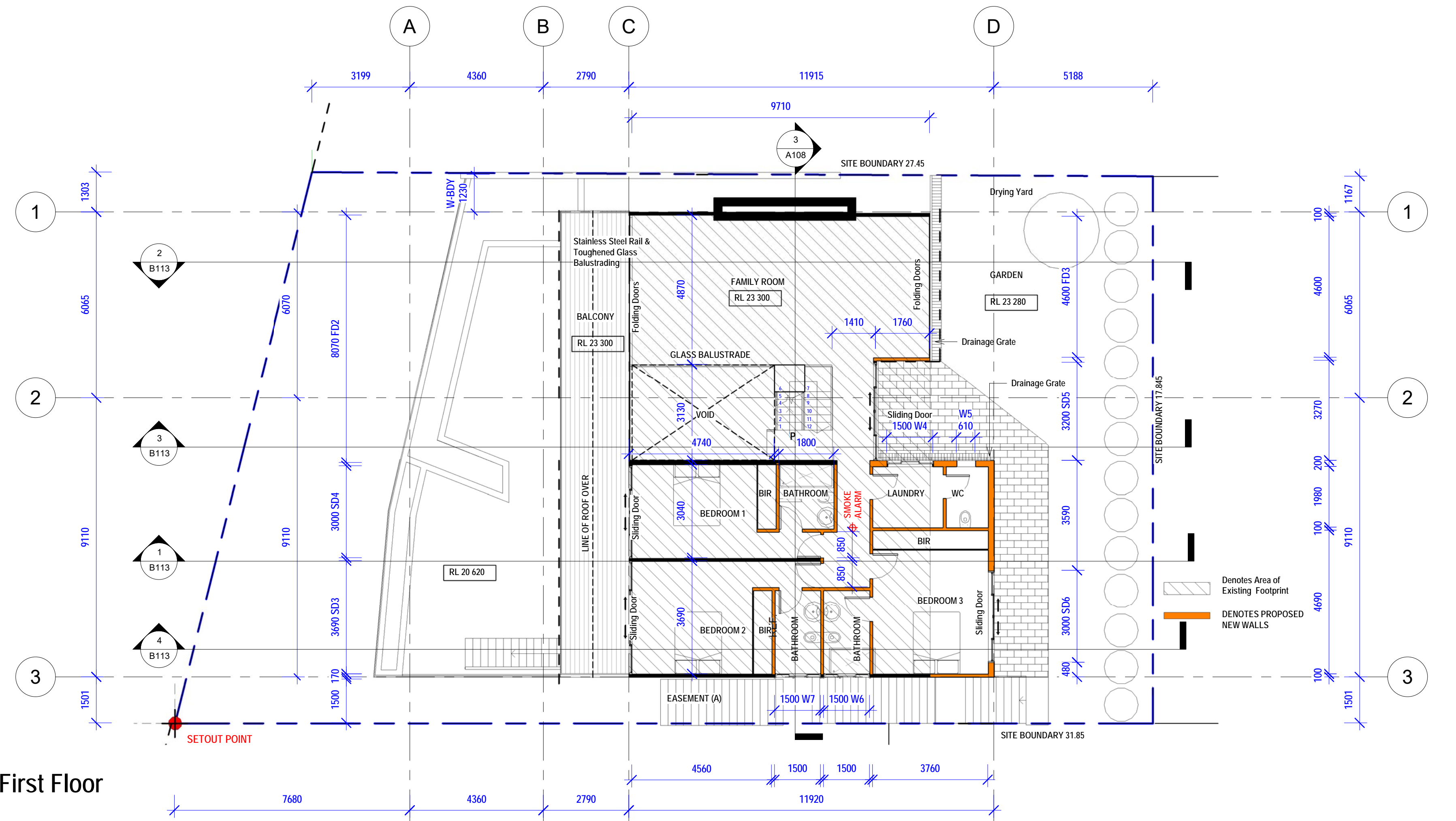
Project number 5743 A106

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111

MOBILE: 0410 699919
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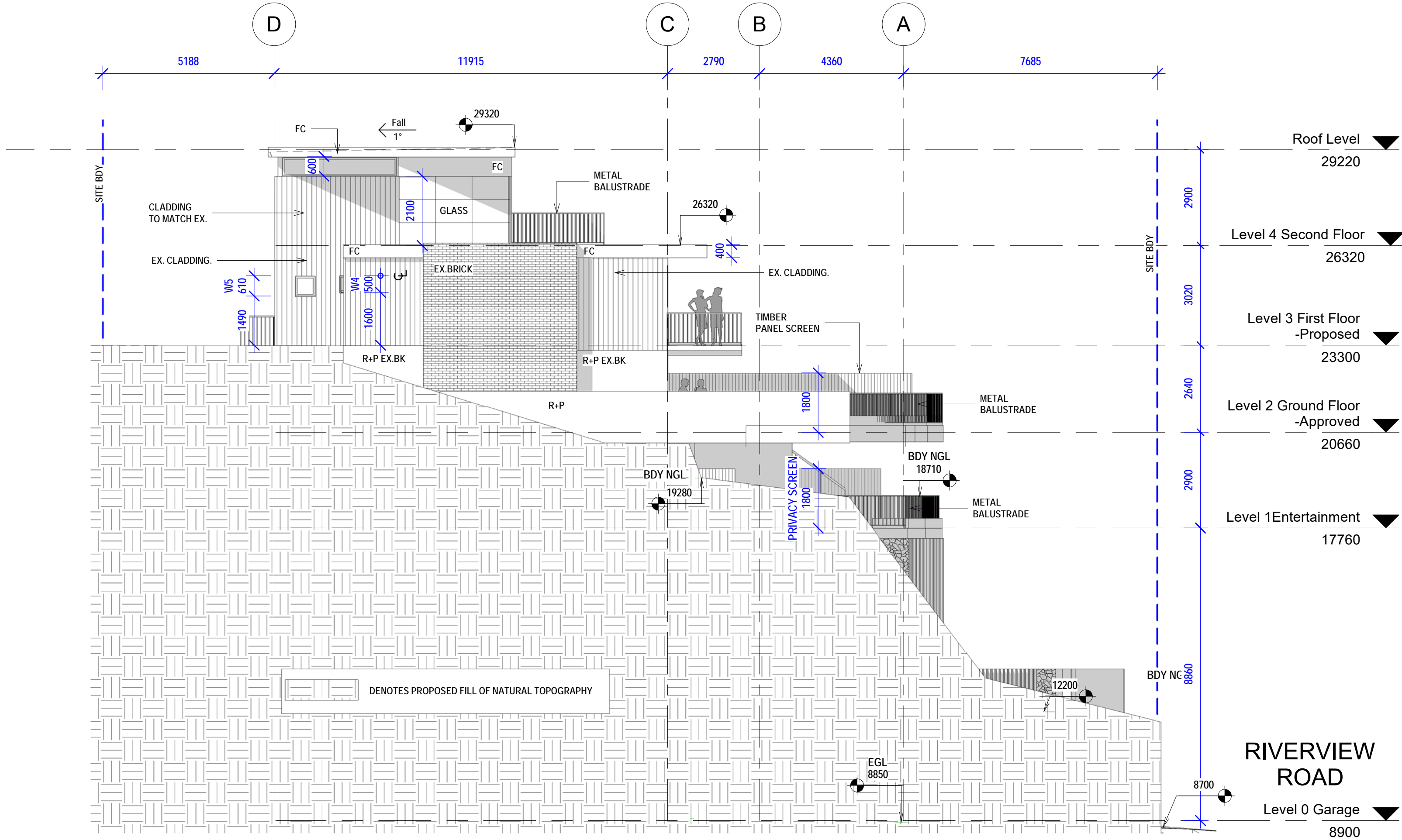


DEVELOPMENT APPLICATION

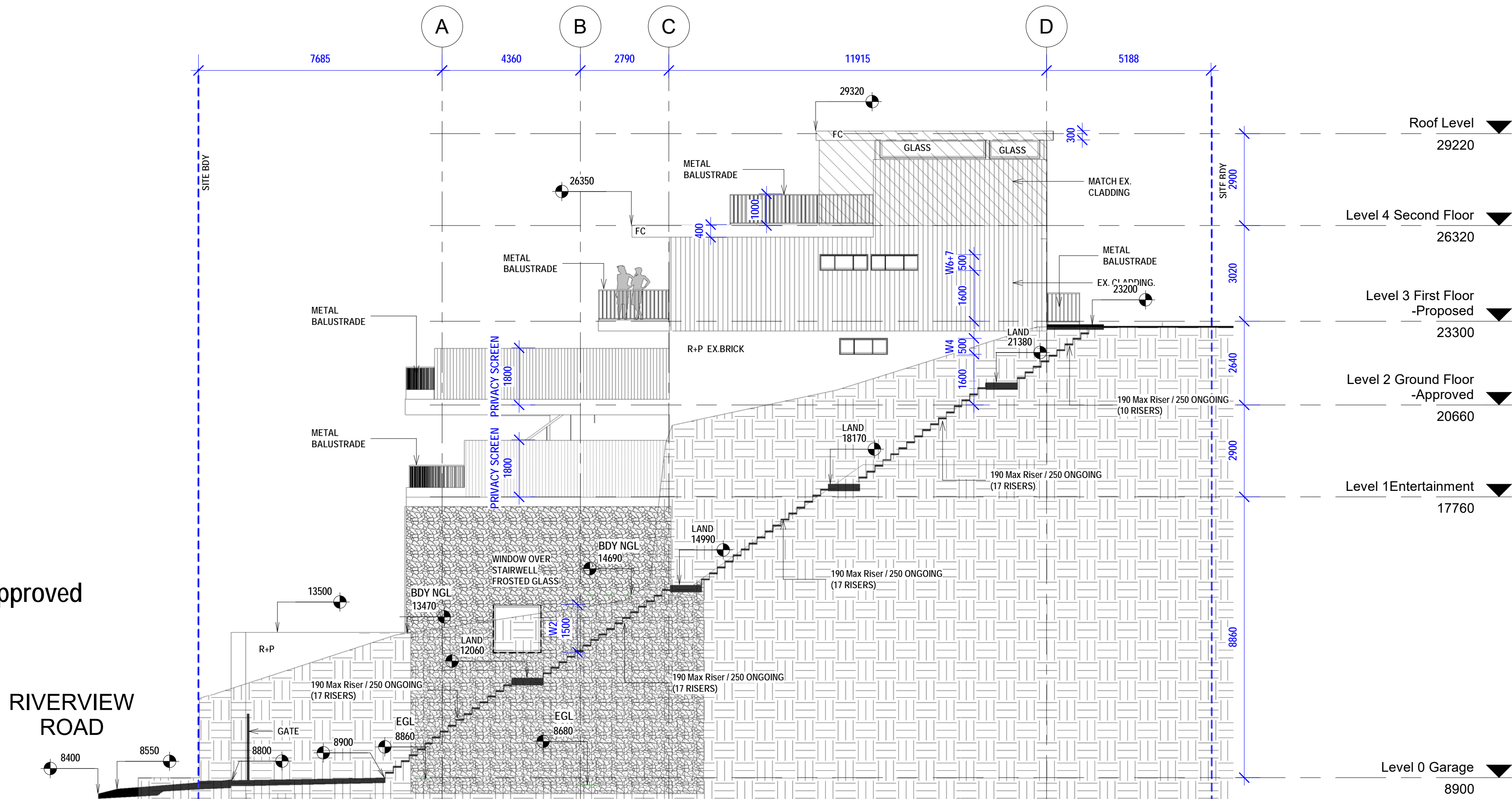
CLIENT	
Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
QUE CONSULTING T - 1300 123 783	
STRUCTURAL ENGINEERS	
NTIMA CONSULTING PTY LTD M - 0434 284 585	

LEGEND:	
A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWNPIPE
DPC	DAMP PROOF COURSE
(E)	EXISTING
EQ	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
(N)	NEW
RL	RELATIVE LEVEL
RWH	RAIN WATER HEAD
SKL	SKYLIGHT
TBC	TO BE CONFIRMED
TME	TO MATCH EXISTING
TW	TIMBER WINDOW
VOS	VERIFY ON SITE
AL	ALUMINIUM
BK	BRICK
GAL	GALVANISED
GD	GLASS DOOR
MRS	METAL ROOF SHEETING
P	PAINT
PBD	PLASTERBOARD
RC	REINFORCED CONCRETE
ST	STONE
SST	SANDSTONE
T	TIMBER
TB	TIMBER BATTENS
TD	TIMBER DOOR
TL	TILE
TL/SL	TILE SLATE ROOF
W	WINDOW
WB	WEATHERBOARD
WC	WATER CLOSET (TOILET)

1 Eastern Elevation - Approved
1 : 100



2 Western Elevation - Approved
1 : 100



DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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Project:
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Approved Eastern + Western
Elevations

Project number 5743 A107

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

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SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@caddraftnsw.com.au

CLIENT
Mr Stephen J. Urch

LANDSCAPE CONSULTANT
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1488

TOWN PLANNER
QUE CONSULTING T - 1300 123 782

STRUCTURAL ENGINEERS
NTIMA CONSULTING PTY LTD M - 0434 284 556

A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWPIPE
DPC	DAMP PROOF COURSE
(E)	EXISTING
EQ	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
(N)	NEW
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RWH	RAIN WATER HEAD
SKL	SKYLIGHT
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VOS	VERIFY ON SITE
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SST	SANDSTONE
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WC	WATER CLOSET (TOILET)

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ISSUE	AMMENDMENT	DATE
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Project:
12 Riverview Road
Earlwood NSW
LOT B. DP 420152

Approved Elevations + Section 1

Project number 5743 A108

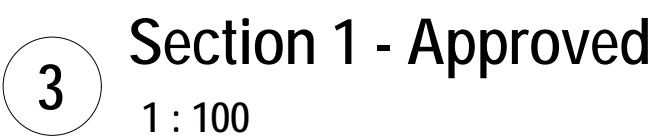
Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

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LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111

MOBILE: 0410 699919
info@caddraftnsw.com.au



CLIENT
Mr Stephen J. Urch

LANDSCAPE CONSULTANT
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485

TOWN PLANNER
QUE CONSULTING T - 1300 123 783

STRUCTURAL ENGINEERS
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A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATA
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWNPINE
DPC	DAMP PROOF COURSE
(E)	EXISTING
EQ	EQUAL
FC	FINISHED CEILING LEVEL
FF	FINISHED FLOOR LEVEL
(N)	NEW
RL	RELATIVE LEVEL
RWH	RAIN WATER HEAD
SL	SIGHT
TBC	TO BE CONFIRMED
TMC	TO MATCH EXISTING
TV	TIMBER WINDOW
WOS	VERIFY ON SITE
AL	ALUMINIUM
BK	BRICK
GD	GALVANISED
GAL	GLASS DOOR
MT	METAL ROOF SHEETING
P	PAIN
PB	PLASTERBOARD
RC	REINFORCED CONCRETE
ST	STONE
SS	SANDSTONE
(T)	TIMBER
TB	TIMBER BATTENS
TD	TIMBER DOOR
TL	TILE
TUSL	TILE SLATE ROOF
W	WINDOW
WB	WEATHERBOARD
WC	WATER CLOSET (TOILET)

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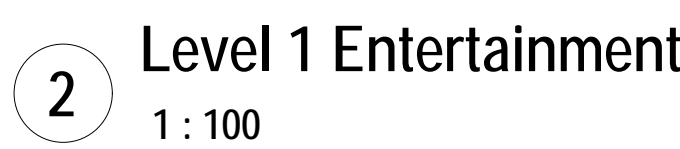
ISSUE	AMMENDMENT	DATE

Proposed Garage & Entertainment Level

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

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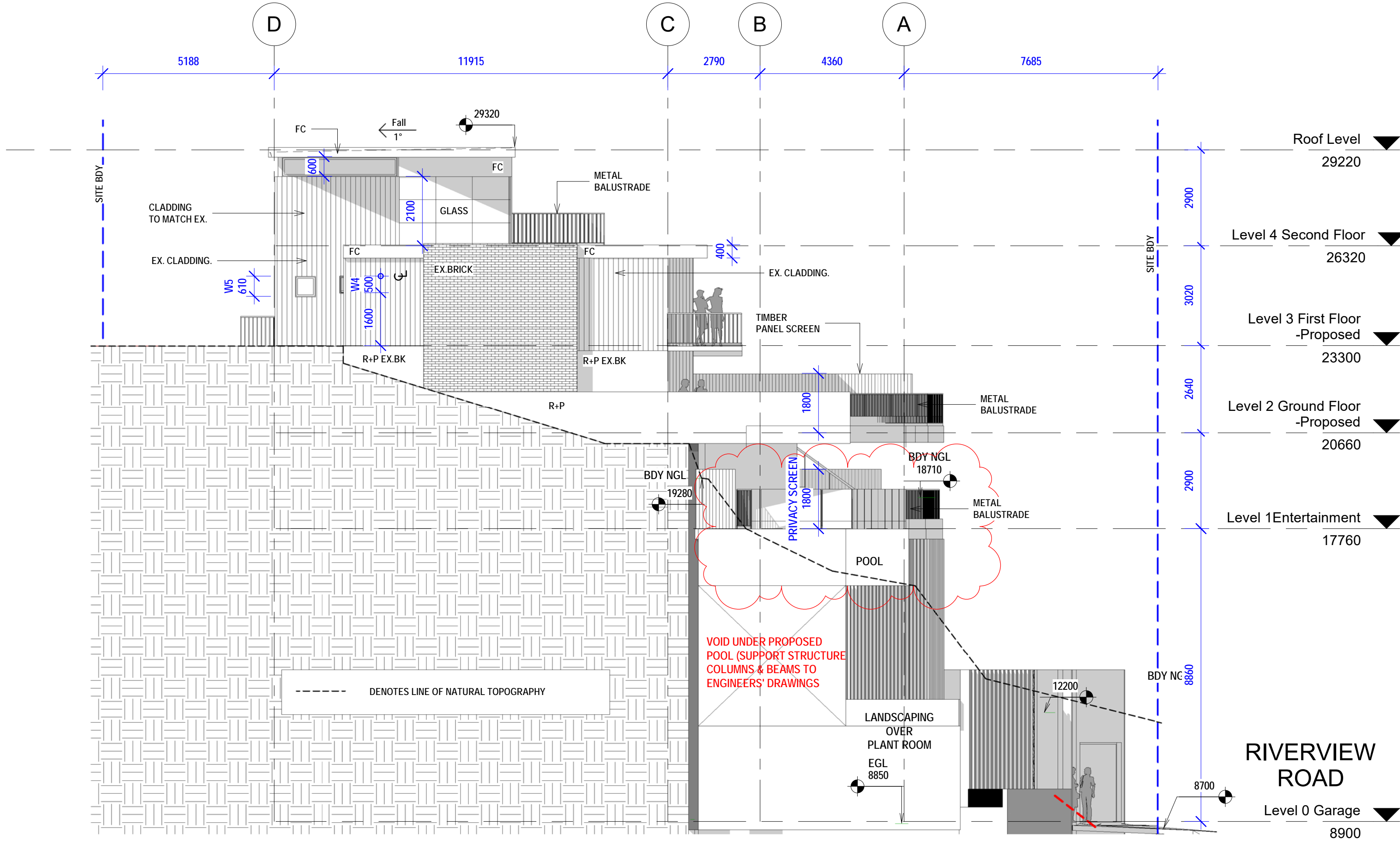
- POOL, ASSOCIATED EQUIPMENT AND POOL FENCING:**
1. Total pool volume: Approx 29,000 litres
 2. The pool, associated equipment with the pool, fencing will comply with the NSW Swimming Pool Act 1992; the Swimming Pool Regulation 2008; AS 1926.1-2012 Pool Safety; AS 1926.2 Location of Safety Barriers for Swimming Pools; AS 1926.3 Water Filtration Systems and Protection of the Environment Operations Act 1997
 3. All pool fencing shall be at least 1.2m in height, shall have no openings greater than 105mm, no foot holds greater than 10mm and will not have any climbable element in a 900mm radius measured from the top of the fence.

DEVELOPMENT APPLICATION

CLIENT	
Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
QUE CONSULTING T - 1300 123 783	
STRUCTURAL ENGINEERS	
NTIMA CONSULTING PTY LTD M - 0434 284 585	

LEGEND:	
A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWNPIPE
DPC	DAMP PROOF COURSE
(E)	EXISTING
EQ	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
(N)	NEW
RL	RELATIVE LEVEL
RWH	RAIN WATER HEAD
SKL	SKYLIGHT
TBC	TO BE CONFIRMED
TME	TO MATCH EXISTING
TW	TIMBER WINDOW
VOS	VERIFY ON SITE
AL	ALUMINIUM
BK	BRICK
GAL	GALVANISED
GD	GLASS DOOR
MRS	METAL ROOF SHEETING
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ST	STONE
SST	SANDSTONE
T	TIMBER
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TD	TIMBER DOOR
TL	TILE
TL/SL	TILE SLATE ROOF
W	WINDOW
WB	WEATHERBOARD
WC	WATER CLOSET (TOILET)

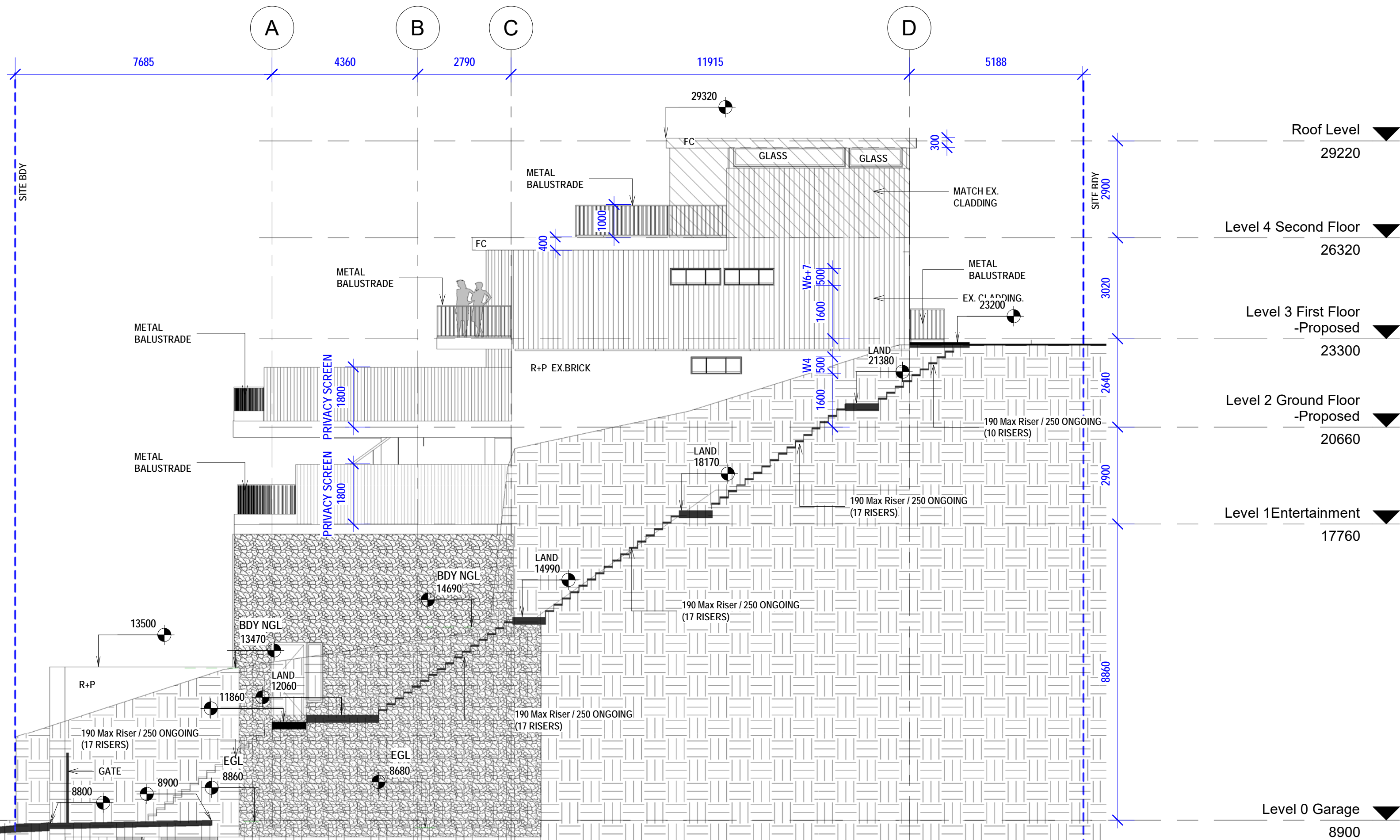
1 Eastern Elevation - Proposed
1 : 100



2 Western Elevation - Proposed
1 : 100

NO CHANGE

RIVERVIEW ROAD



DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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ISSUE	AMMENDMENT	DATE
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Project:
12 Riverview Road
Earlwood NSW
LOT B. DP 420152

Eastern + Western Elevations

Project number 5743 A110

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

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SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@caddraftnsw.com.au

CLIENT
Mr Stephen J. Urch

LANDSCAPE CONSULTANT
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485

TOWN PLANNER
QUE CONSULTING T - 1300 123 783

STRUCTURAL ENGINEERS
NTIMA CONSULTING PTY LTD M - 0434 284 581

A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DPC	DOWNPIPE
DPF	DAMP PROOF COURSE
(E)	EXISTING
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TME	TO MATCH EXISTING
TVS	TIMBER ON SITE
WOW	VERIFY ON WINDOW
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GL	GLASS DOOR
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PBD	PLASTERBOARD
RC	REINFORCED CONCRETE
ST	STONE
SSST	SANDSTONE
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TD	TO TIMBER DOOR
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Elevations + Sections

Date: 15-09-22

Date: 15-09-22

Scale: 1 : 100 1:100 @ A1
Drawn by: KB

Drawn by: KP

Checked by: JD

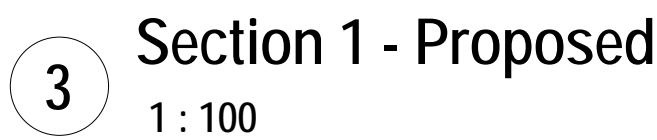
ABN 27 083 288 153
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LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111

MOBILE: 0410 699919
info@caddraftnsw.com.au



4 Section Pool
1 : 100

- POOL, ASSOCIATED EQUIPMENT AND POOL FENCING:**
1. Total pool volume: Approx 29,000 litres
 2. The pool, associated equipment and all pool fencing will comply with the NSW Swimming Pool Act 1992: the Swimming Pool Regulation 2008; AS 1926.1-2012 Pool Safety; AS 1926.2 Location of Safety Barriers for Swimming Pools; AS 1926.3 Water Recirculation Systems and Protection of the Environment Operations Act 1997
 3. All pool fencing shall be at least 1.2m in height, shall have no openings greater than 105mm, no foot holds greater than 10mm and will not have any climbable element in a 900mm radius measured from the top of the fence.

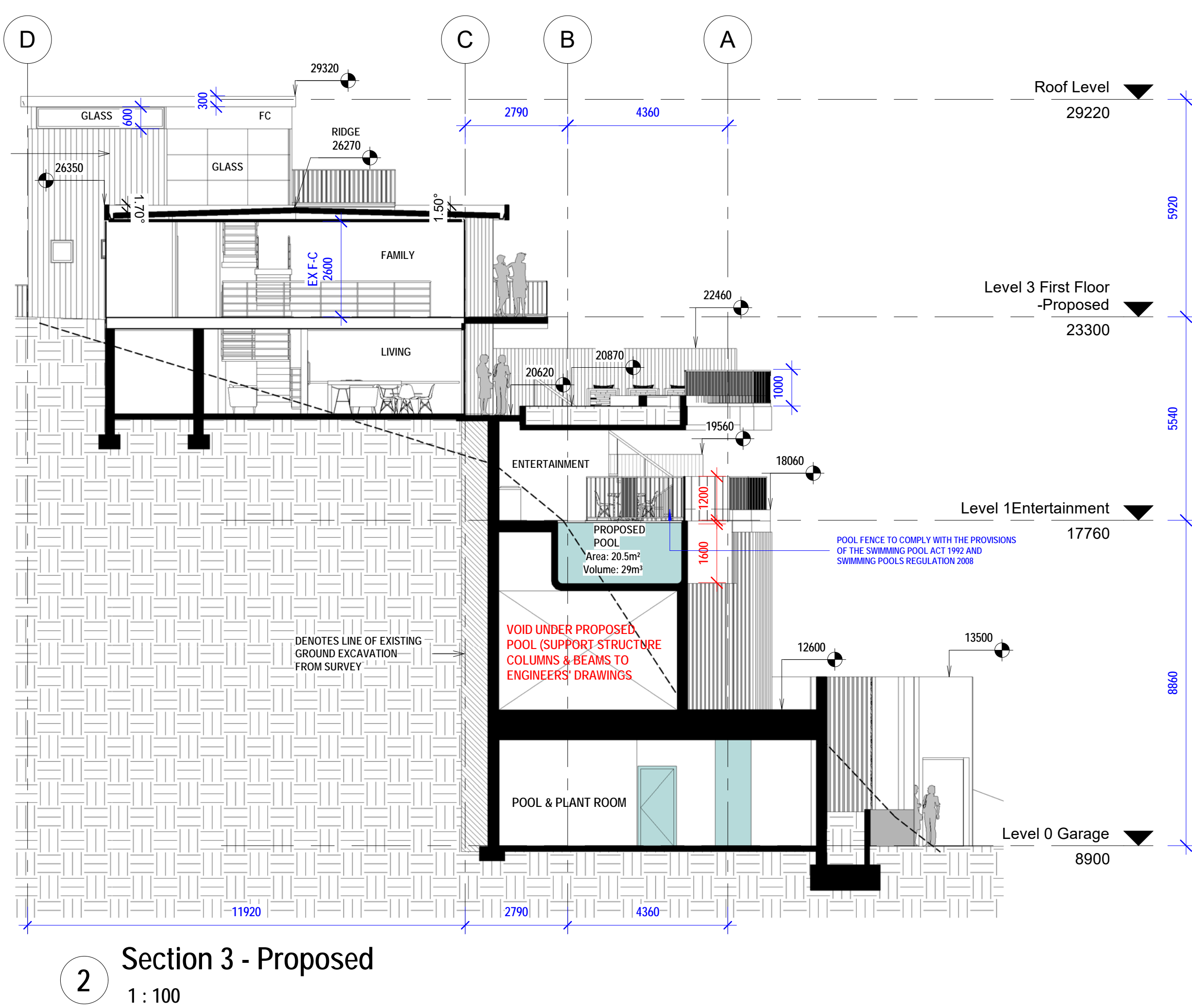
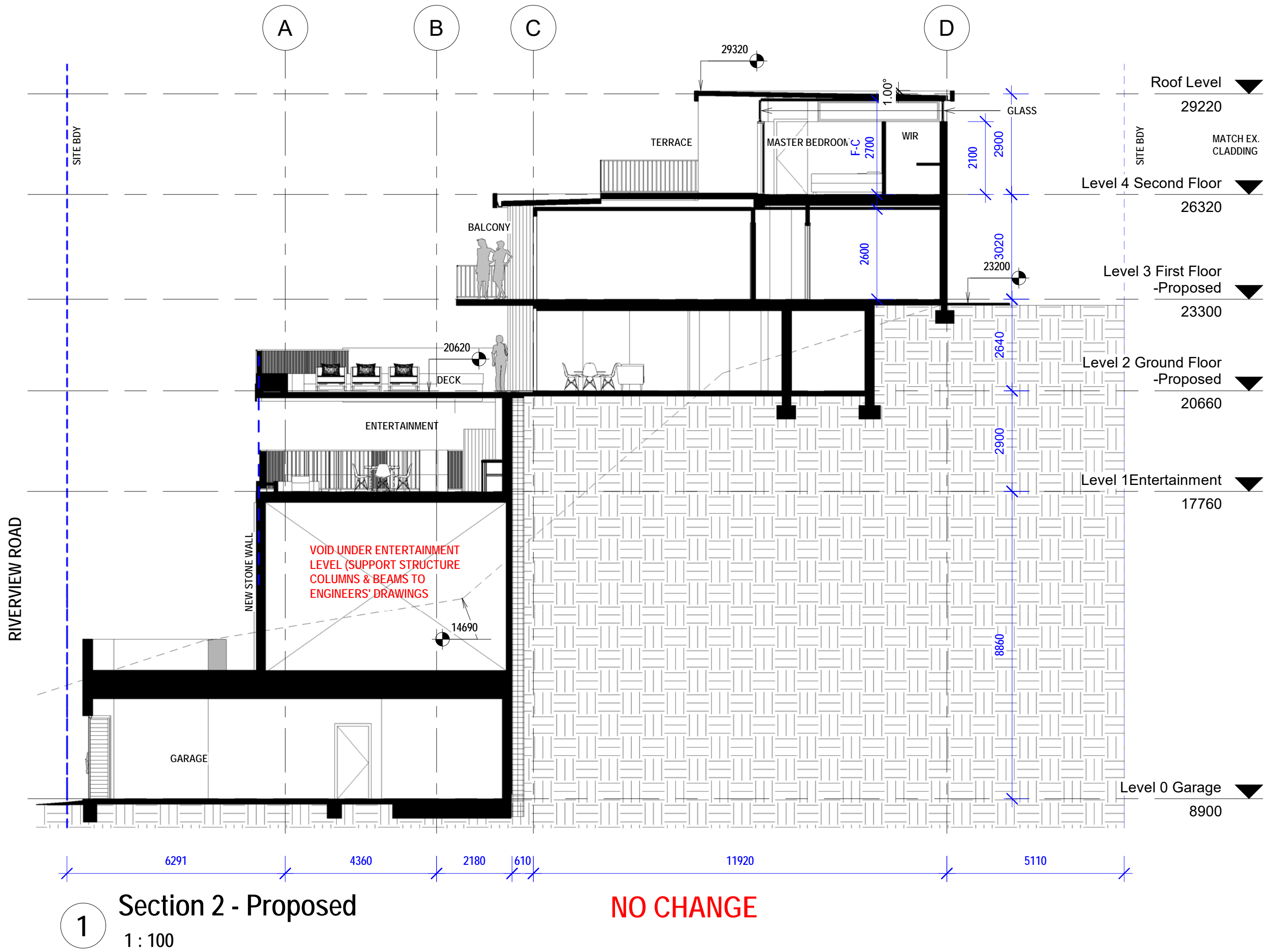


NO CHANGE

DEVELOPMENT APPLICATION

CLIENT	
Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
QUE CONSULTING T - 1300 123 783	
STRUCTURAL ENGINEERS	
NTIMA CONSULTING PTY LTD M - 0434 284 585	

LEGEND:	
A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWNPIPE
DPC	DAMP PROOF COURSE
(E)	EXISTING
EQ	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
(N)	NEW
RL	RELATIVE LEVEL
RWH	RAIN WATER HEAD
SKL	SKYLIGHT
TBC	TO BE CONFIRMED
TME	TO MATCH EXISTING
TW	TIMBER WINDOW
VOS	VERIFY ON SITE
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GD	GLASS DOOR
MRS	METAL ROOF SHEETING
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TD	TIMBER DOOR
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TL/SL	TILE SLATE ROOF
W	WINDOW
WB	WEATHERBOARD
WC	WATER CLOSET (TOILET)



DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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ISSUE	AMMENDMENT	DATE
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Project:
12 Riverview Road
Earlwood NSW
LOT B. DP 420152

Sections 2 & 3

Project number 5743 A112

Date: 15-09-22
Scale: 1 : 100 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

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SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111

MOBILE: 0410 699919
info@caddraftnsw.com.au

DEVELOPMENT APPLICATION

CLIENT	
Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
QUE CONSULTING T - 1300 123 763	
STRUCTURAL ENGINEERS	
NTIMA CONSULTING PTY LTD M - 0434 284 585	

LEGEND:	
A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWNPIPE
DPC	DAMP PROOF COURSE
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TL	TILE
TL/SL	TILE SLATE ROOF
W	WINDOW
WB	WEATHERBOARD
WC	WATER CLOSET (TOILET)

EXTERNAL MATERIAL FINISHES:	
WALL FINISHES: TO BE SELECTED CEMENT RENDER AND PAINT	
POOL AND STREET FEATURE WALLS: TO BE SELECTED STONE CLADDING	
WINDOW FRAMES: TO BE SELECTED ANODISED ALUMINIUM	

DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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Project:
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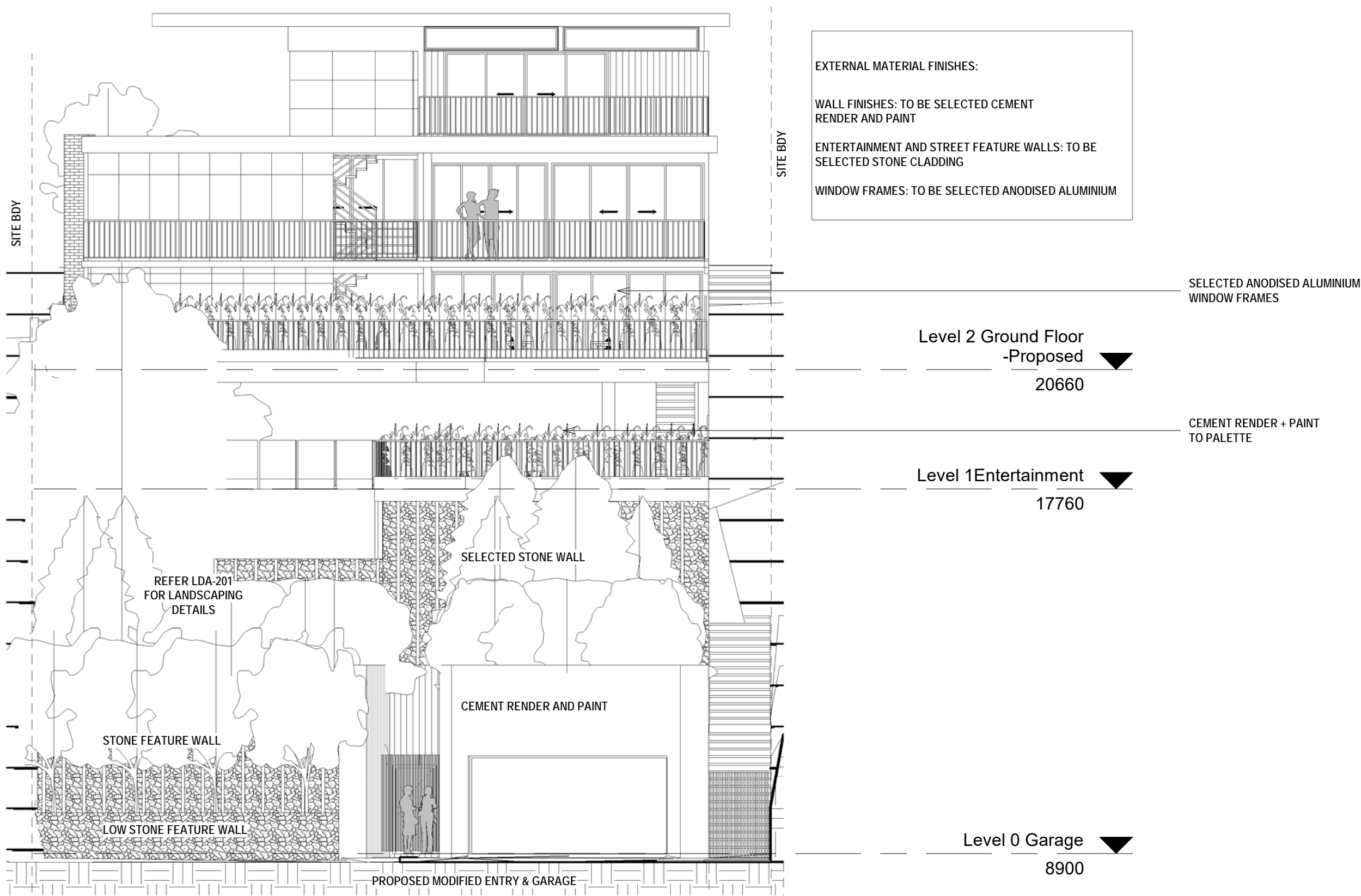
External Finishes + Waste Management Plan

Project number 5743 A113

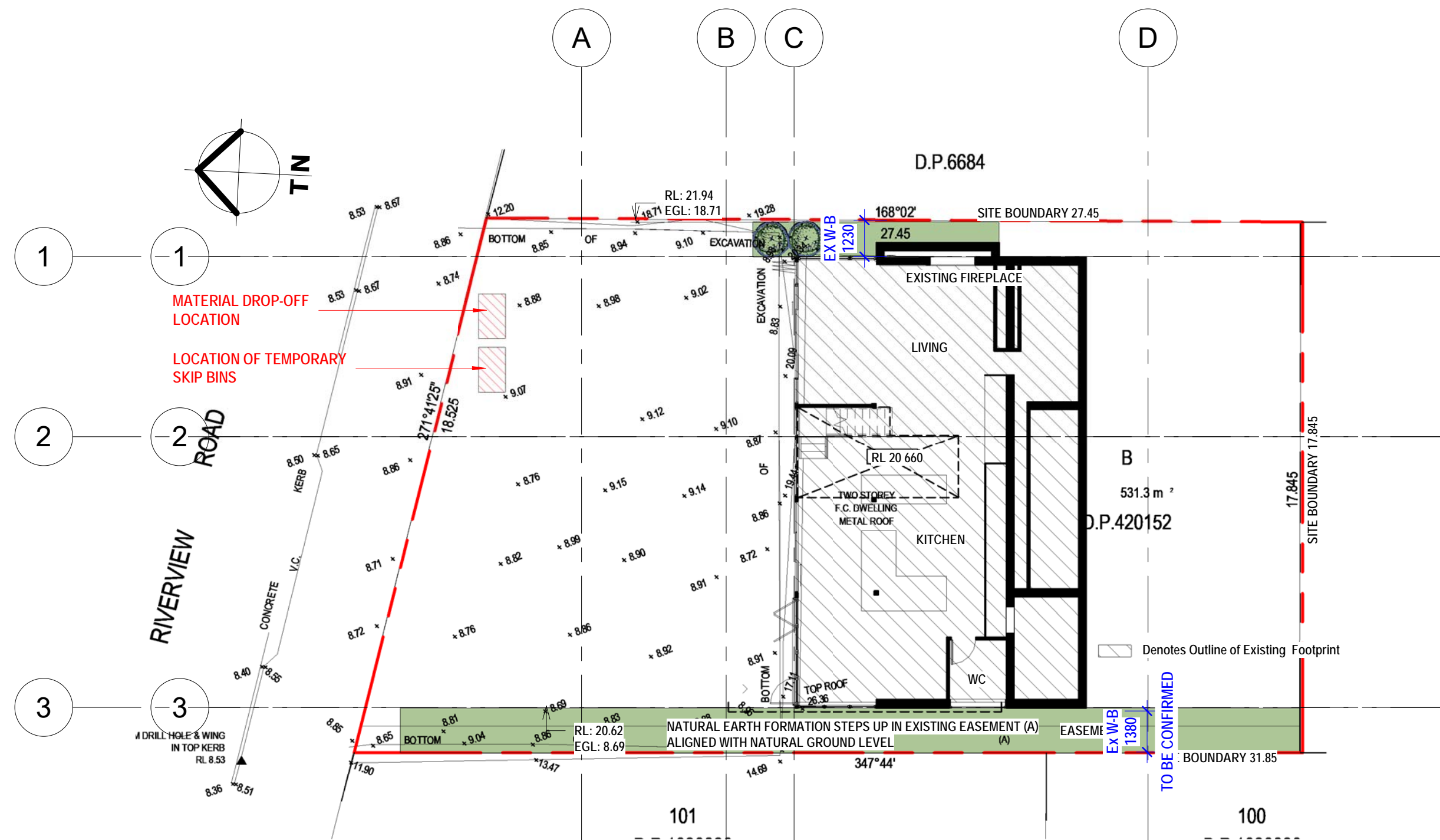
Date: 15-09-22
Scale: As indicated 1:100 @ A1
Drawn by: KP
Checked by: JD

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1 External Material Finishes
1 : 100



2 Waste Management Plan
1 : 150

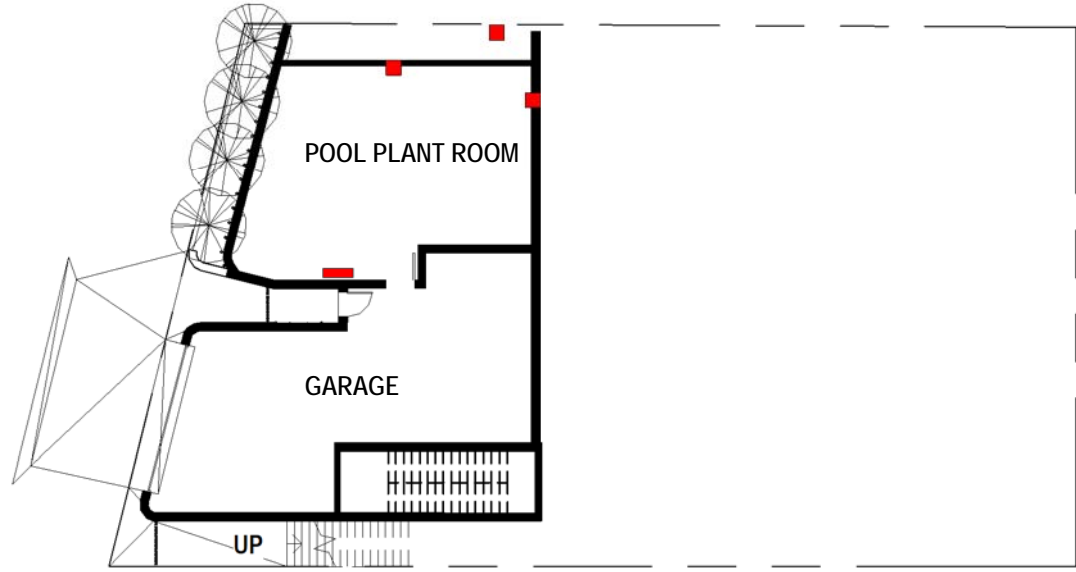
NOTES: SITE / WASTE MANAGEMENT

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
- MINIMISE DISTURBED AREAS
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS
- DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
- ROADS AND FOOTPATHS TO BE SWEEPED DAILY
- NO MATERIAL TO BE STORED ON FOOTPATH
- IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A FINE

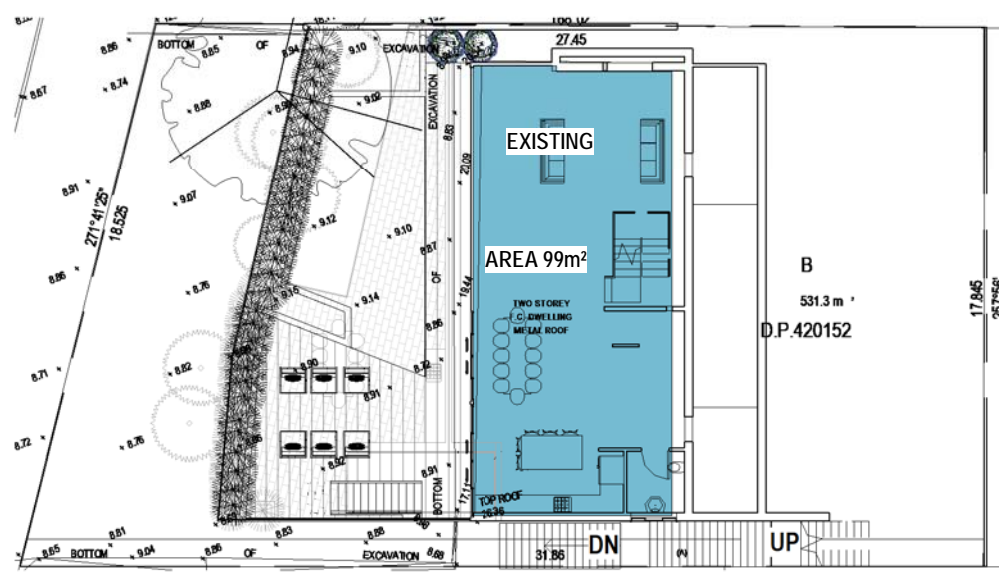
DEVELOPMENT APPLICATION

CLIENT	
Mr Stephen J. Urch	
LANDSCAPE CONSULTANT	
GEOSCAPES LANDSCAPE ARCHITECTS T - 02 9411 1485	
TOWN PLANNER	
QUE CONSULTING T - 1300 123 783	
STRUCTURAL ENGINEERS	
NTIMA CONSULTING PTY LTD M - 0434 284 585	

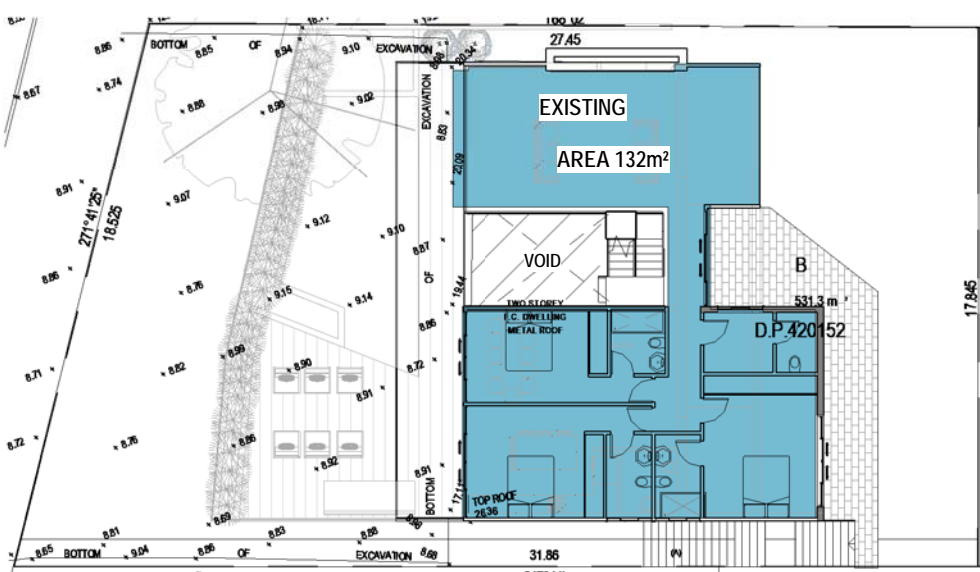
LEGEND:	
A/C	AIR CONDITIONER
AHD	AUSTRALIAN HEIGHT DATUM
AW	ALUMINIUM WINDOW
BAL	BALUSTRADE
DP	DOWNPIPE
DPC	DAMP PROOF COURSE
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WB	WEATHERBOARD
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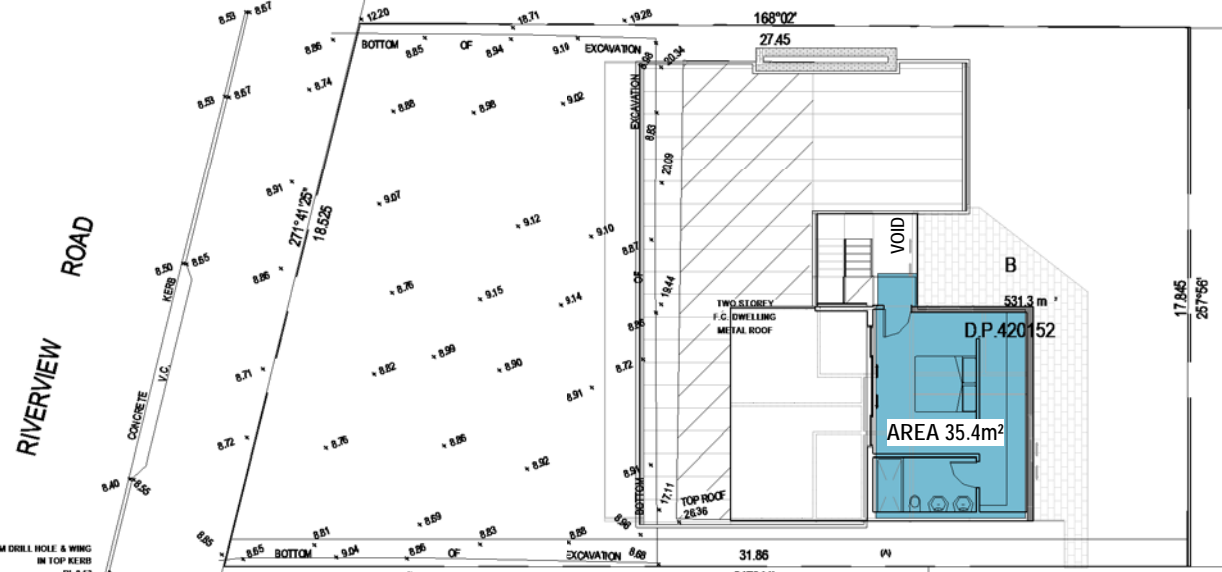
1 Level 0 Garage - Proposed
1 : 250



2 Level 2 Ground Floor - Approved
1 : 250

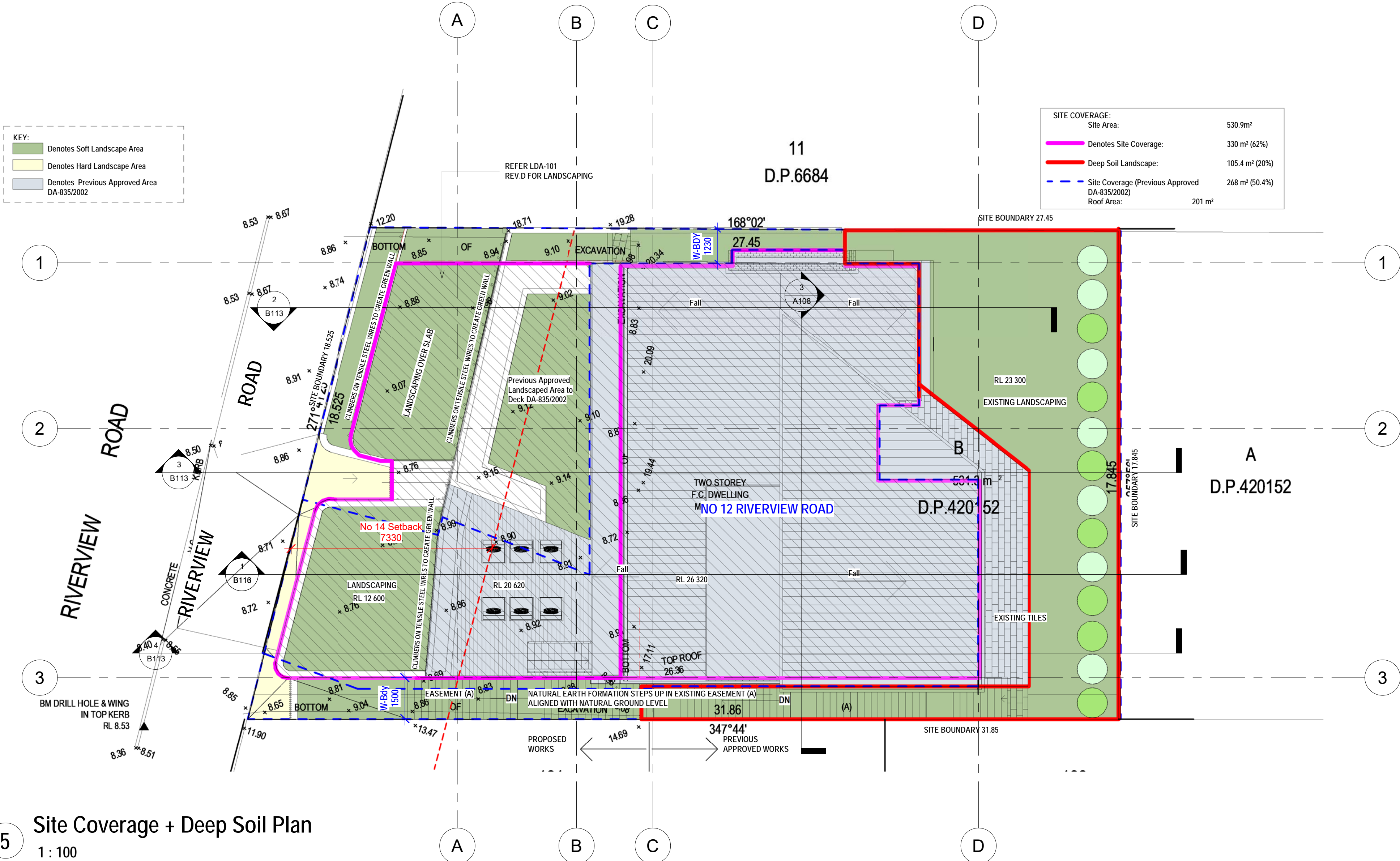


3 Level 3 First Floor - Approved
1 : 250



4 Level 4 Second Floor - Approved
1 : 250

FLOOR SPACE AREA CALCULATIONS:	
SITE AREA:	530.9 m²
LEVEL 0 GARAGE:	0 m²
LEVEL 2 GROUND FLOOR: (Existing + Approved)	99 m²
LEVEL 3 FIRST FLOOR: (Existing + Approved)	132 m²
LEVEL 4 SECOND FLOOR: (Approved)	35.4 m²
PROPOSED ADDITIONAL AREA :	0 m²
TOTAL AREA (All Approved + Existing):	266.4 m²
FSR:	0.50:1



5 Site Coverage + Deep Soil Plan
1 : 100

DEVELOPMENT APPLICATION:
PROPOSED POOL & PLANT ROOM ADDED

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ISSUE	AMMENDMENT	DATE

Project:
12 Riverview Road
Earlwood NSW
LOT B. DP 420152

FSR + Site Areas Calculations

Project number 5743 A114

Date: 15-09-22
Scale: As indicated 1:100 @ A1
Drawn by: KP
Checked by: JD

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW
P.O BOX 446 GLADESVILLE 2111
MOBILE: 0410 699919
info@cadraffnsw.com.au